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JOINT USE ACCESS AGREEMENT NOTE

PER RESEARCH BY ARTHUR WALSTON OF THE CITY OF AUSTIN OFFICE OF REAL ESTATE SERVICES, AS DESCRIBED IN EMAILS ON OR AROUND 01.13.20, THE ACCESS EASEMENT REFERENCED IN THE PROPERTY DEEDS WERE NOT FORMALLY RECORDED WITH THE CITY OF AUSTIN, SO IT IS NOT NECESSARY TO SUBMIT OR OBTAIN AN EASEMENT RELEASE APPLICATION TO THE OFFICE OF REAL ESTATE SERVICES

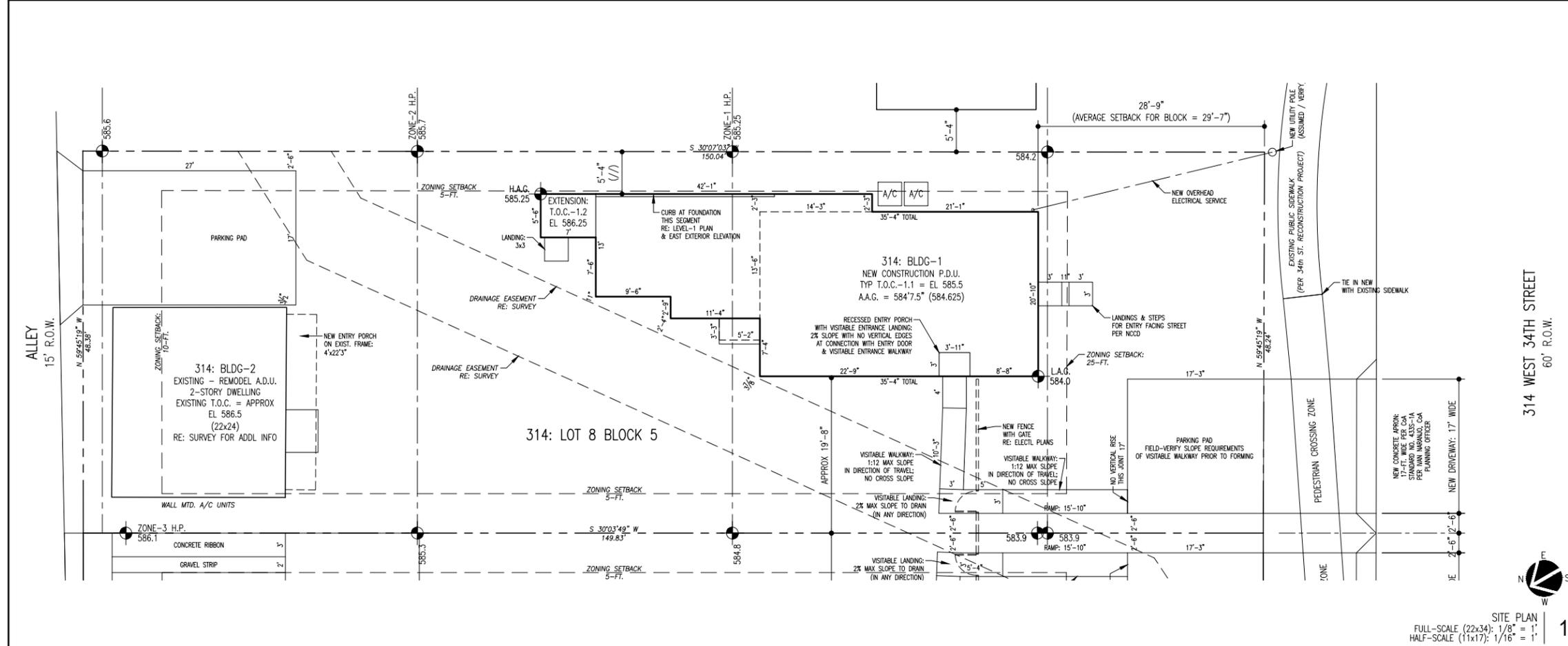
DATE: _____

REVISION DESCRIPTION

04 NOVEMBER 2020
PERMIT REVISION

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314 WEST 34th STREET
 AUSTIN TX 78705

TWO-FAMILY PROJECT:
 PDU: NEW CONSTRUCTION
 ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

BOREN ARCHITECTS
 512.554.5474

DRAWING TITLE: _____

DATE: AS NOTED

PROJECT: 1910: 314

SCALE: AS NOTED

DRAWN: DPB

SHEET: 314



- 01
- 410 28' SETBACK PER FIELD-MEASURE
- 02
- 408 27.5' SETBACK PER FIELD-MEASURE
- 03
- 406 26' SETBACK PER FIELD-MEASURE
- 04
- 404 27' SETBACK PER FIELD-MEASURE
- 05
- 402 27' SETBACK PER FIELD-MEASURE
- 06
- 400 MULTI-FAMILY USE APARTMENT BUILDING EXEMPT FROM SETBACK AVERAGING
- 07
- 316 24'-9" SETBACK PER SURVEY (NOT INCLUDED IN DATA FOR 316)
- 08
- 314 34'-3" SETBACK PER SURVEY (NOT INCLUDED IN DATA FOR 314)
- 09
- 312 29' SETBACK PER FIELD-MEASURE
- 10
- 310 39' SETBACK PER FIELD-MEASURE
- 11
- 308 25' PER PERMIT HISTORY DOCUMENTS
- 12
- 306 36'-2" PER PERMIT HISTORY DOCUMENTS
- 13
- 304 30' SETBACK PER FIELD-MEASURE
- 14
- 302 29' SETBACK PER FIELD-MEASURE
- 15
- 300 31' SETBACK PER FIELD-MEASURE

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DATA FOR 316 WEST 34th STREET

DATA THIS SHEET TAKEN FROM FIELD-MEASUREMENTS

LISTED DATA BELOW ORGANIZED FROM PROPERTIES WEST TO EAST

1. 28'-0"
2. 27'-6"
3. 21'-0"
4. 27'-0"
5. 27'-0"
6. APT BLDG NOT APPLICABLE
7. 24'-9" SUBJECT TRACT - NOT INCLUDED IN DATA
8. 34'-3"
9. 29'-0"
10. 39'-0"
11. 26'-0"
12. 36'-2"
13. 30'-0"
14. 29'-0"
15. 31'-0"

TOTALS: 384' DIVIDED BY 13 APPLICABLE LOTS

AVERAGE SETBACK FOR BLOCK: 29'-7"

DATA FOR 314 WEST 34th STREET

DATA THIS SHEET TAKEN FROM FIELD-MEASUREMENTS

LISTED DATA BELOW ORGANIZED FROM PROPERTIES WEST TO EAST

1. 28'-0"
2. 27'-6"
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10. 39'-0"
11. 26'-0"
12. 36'-2"
13. 30'-0"
14. 29'-0"
15. 31'-0"

TOTALS: 375'-5" DIVIDED BY 13 APPLICABLE LOTS

AVERAGE SETBACK FOR BLOCK: 28'-7"

BOREN ARCHITECTS
512.554.5474

DRAWING TITLE:

DATE: AS NOTED

PROJECT: 1910: 314

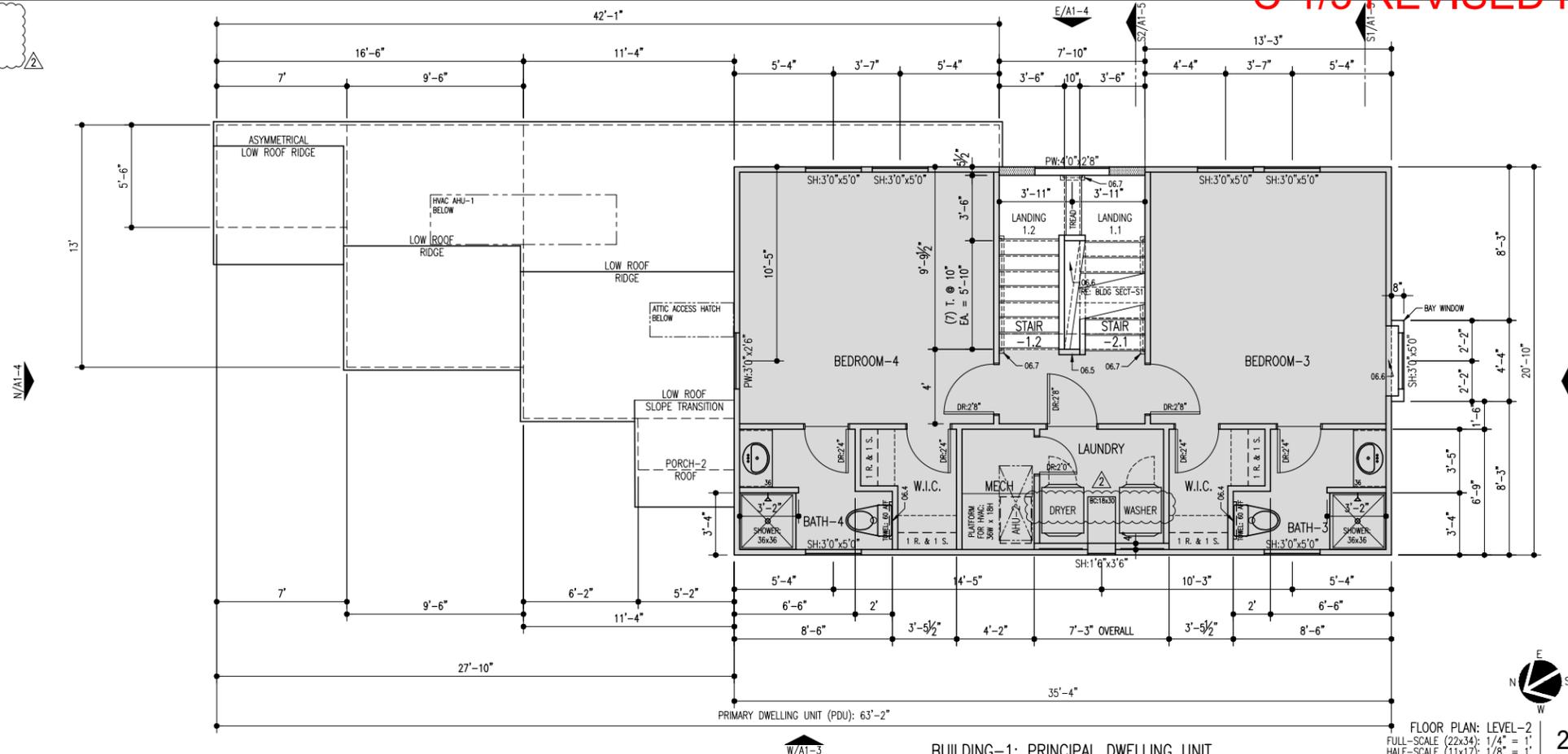
SCALE: AS NOTED

DRAWN: DPB

SHEET: 314

City of Austin
REVIEWED FOR CODE COMPLIANCE
A0-1

PERMIT REVISION NOTES THIS LEVEL ONLY:
 * DOUBLE, STACKED WASHERS / DRYERS REPLACED WITH SINGLE WASHER / DRYER



- KEYNOTES LEGEND**
- KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT: SEE OUTLINE SPECIFICATIONS THIS PACKAGE FOR ADDL INFO
- 01.1 VISIBILITY: INTERIOR ROUTE OF TRAVEL
 - 01.2 VISIBILITY: 30 x 30 REQD CLEAR FLOOR AREA
* SEE VISIBILITY NOTES FOR ADDL INFO THIS ROOM
 - 02.0 EXISTING GRADE TO REMAIN OR BE MODIFIED WHERE NOTED
 - 02.1 NEW PAVEMENT: SLOPE TO DRAIN @ 2% MIN. OR AS NOTED
 - 02.2 NEW FINISH GRADING: SLOPE TO DRAIN @ 2% MIN.
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 - 03.2 CONC FOUNDATION PER STRUCTL: SLOPE TO DRAIN AS NOTED
 - 03.3 CONC FOUNDATION PER STRUCTL: SPECIAL FEATURE AS NOTED
 - 03.4 CONC FOUNDATION SLOPE TRANSITION: NO VERTICAL EDGE
 - 03.5 CONC FOUNDATION STEMMALL: 4-IN. W. x 6-IN. H.
 - 04.0 EXISTING CONCRETE MASONRY UNIT WALL
 - 05.1 STEEL LINTEL AT NEW WALL OPENING AT EXISTING CMU WALL
 - 06.0 EXISTING WOOD FRAMING ELEMENT
 - 06.1 WOOD FLOOR OR ROOF FRAMING PER STRUCTL
 - 06.2 EDGE OF FRAMING
 - 06.3 LOWER CEILING OR FURR DOWN: DEPTH PER PLAN OR SECTION
 - 06.4 2x6 MIN. BLOCKING IN STUD WALL CENTERED AS NOTED
 - 06.5 PARTIAL-HEIGHT FRAMING: 40-IN. H. NOM. WITH DIVISION-09 CAP TRIM
 - 06.6 INTERIOR PLATFORM: AS NOTED WITH DIVISION-09 CAP TRIM
 - 06.7 STAINED WOOD HANDRAIL
 - 07.0 EXISTING SIDING TO REMAIN: REFURBISH AS REQUIRED
 - 07.1 SIDING TYPE-1: PLANKS WITH 10.75-IN. EXPOSURE TYP U.N.O.
 - 07.2 SIDING TYPE-2: PLANKS WITH 4-IN. EXPOSURE
 - 07.3 ROOF EDGE: 2x8 NOM @ TYPE-1 & 1x6 NOM @ TYPE-2
 - 07.4 EXTERIOR TRIM AS SCHEDULED
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 - 08.1 SCHEDULED DOOR
 - 08.2 SCHEDULED WINDOW
 - 12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION
 - 15.1 HVAC EQUIPMENT OR ACCESSORY
 - 15.2 PLUMBING EQUIPMENT OR ACCESSORY
 - 16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

DATE: 11.04.20
11.20.20

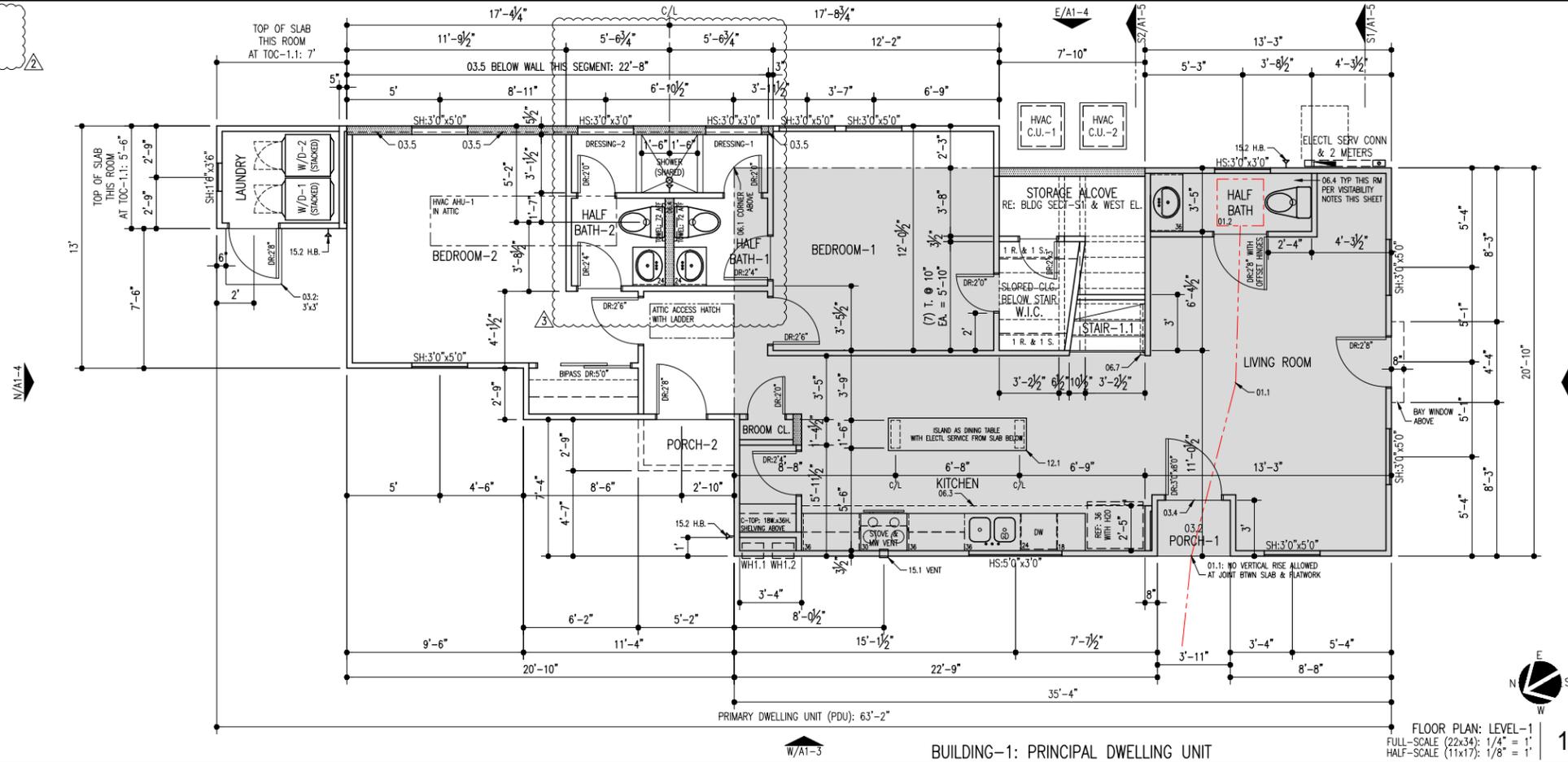
REVISION DESCRIPTION
 ADDENDA-2: PERMIT REVISION
 ADDENDA-3: PERMIT REVISION CLARIFICATION

04 NOVEMBER 2020
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PERMIT REVISION NOTES THIS LEVEL ONLY:
 * SHOWER REMOVED FROM BATH-1 (NO LONGER A FULL-BATH BUT A HALF-BATH) AND REPLACED WITH A CLOTHES WASHER & DRYER



- FLOOR PLAN NOTES: NEW CONSTRUCTION**
1. NEW 2x6 STUD WALLS HATCHED FOR CLARITY: ALL OTHERS 2x4
 2. ALL DIMENSIONS FROM EDGE OF WALL OR FLOOR FRAMING OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP
 3. WINDOWS ARE SIZED ON PLANS IN WIDTH x HEIGHT FORMAT: SEE EXTERIOR ELEVATIONS FOR ADDL INFO
 4. DOORS SHALL BE 6'-FT. 8-IN. HIGH U.N.O. ON PLAN
 5. COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS WITH MFR REQS
 6. SMOKE & CARBON MONOXIDE ALARMS TO BE INSTALLED IN FULL COMPLIANCE WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE R314
- VISIBILITY NOTES**
- R320.3: VISIBLE BATHROOM (HALF BATH LEVEL-1) (KEYNOTE-01.2)
 * DOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 32"
 * LATERAL 2x6 BLOCKING SHALL BE INSTALLED CENTERED @ 34" A.F.F. FLUSH WITH STUD EDGES OF WALL
 ALL 3-SIDES OF TOILET AT LEVEL-1 HALF BATH
- R320.4: MISC ELECTRICAL APPURTENANCES
 * ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS AT UPPER LEVEL MUST BE NO HIGHER THAN 48" A.F.F.
 * ALL OUTLETS AND RECEPTACLES AT UPPER LEVEL MUST BE 15" A.F.F.
- R320.5: VISIBILITY ROUTE
 * SEE PLAN FOR GRAPHIC INFO THIS ELEMENT (KEYNOTE-01.1)
- R320.6: VISIBLE DWELLING ENTRANCE
 * DOOR THRESHOLD AT ENTRANCE ALONG VISIBILITY ROUTE PER R320.5 SHALL HAVE A 0.5" MAX HIGH THRESHOLD AS SHOWN BELOW
 * CONC ALONG VISIBILITY ROUTE SHALL HAVE A MAX CROSS-SLOPE OF 2% MAX & 5% MAX IN DIRECTION OF TRAVEL
 * CONC EDGES ALONG VISIBILITY ROUTE SHALL NOT HAVE VERTICAL EDGES: VERIFY WITH FOUNDATION DRAWINGS & CONCRETE SUBCONTRACTOR
- R320.7: EXTERIOR VISIBILITY ROUTE
 * BUILDING-1: THE PDU WILL HAVE A VISIBLE ENTRANCE THROUGH THE MAIN ENTRY RE: SITE PLAN
 * BUILDING-2: THE ADU IS AN EXISTING STRUCTURE TO BE REMODELLED VISIBILITY NOT APPLICABLE

314 WEST 34th STREET
 AUSTIN TX 78705

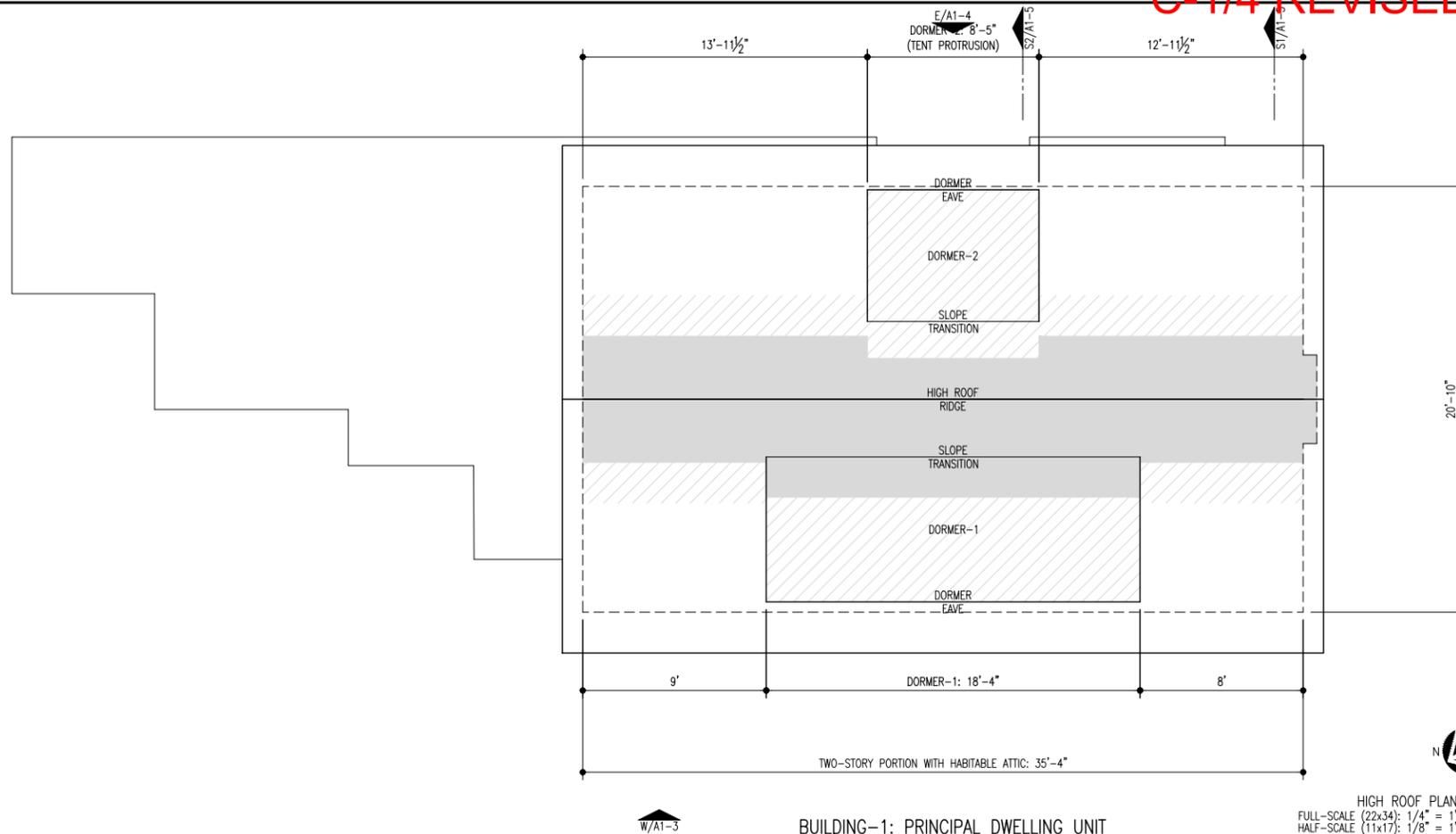
TWO-FAMILY PROJECT:
 PDU: NEW CONSTRUCTION
 ADU: ADDITION-REMODEL
 ZONING: SF-3-NCCD-NP

BOREN ARCHITECTS
 512.554.5474

DRAWING TITLE:
 BUILDING-1
 FLOOR PLAN-1
 FLOOR PLAN-2

DATE: AS NOTED
 PROJECT: 1910: 314
 SCALE: AS NOTED
 DRAWN: DPB
 SHEET: 314

City of Austin
 REVIEWED FOR CODE COMPLIANCE
 A1-1



- KEYNOTES LEGEND**
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DATE: 11.04.20

DESCRIPTION: ADDENDA-2: PERMIT REVISION

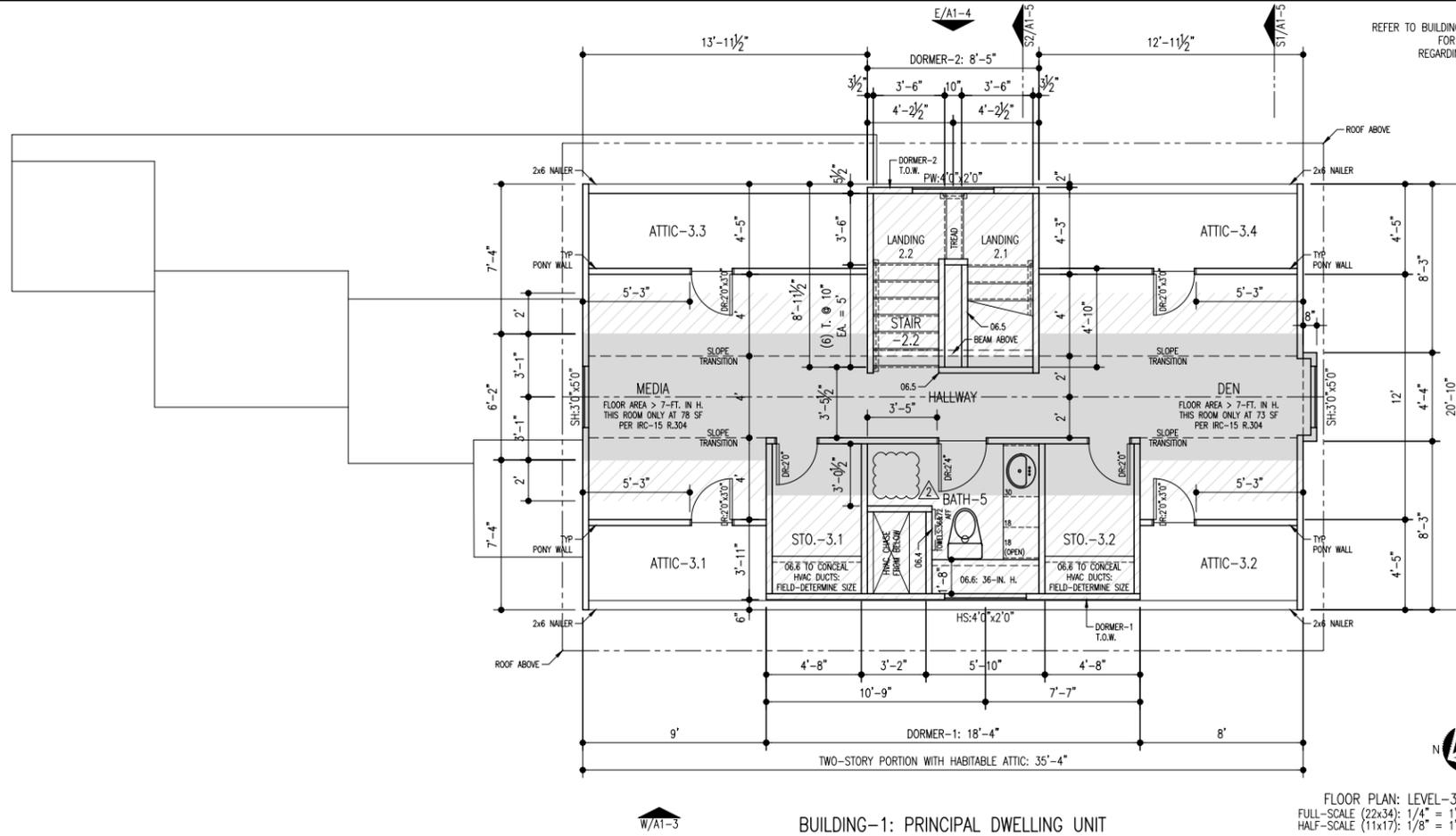
REVISION: 1

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PERMIT REVISION NOTES THIS LEVEL ONLY:
* SHOWER REMOVED FROM BATH-5
(NO LONGER A FULL-BATH BUT A HALF-BATH)



- FLOOR PLAN NOTES: NEW CONSTRUCTION**
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NOTE: REFER TO BUILDING SECTIONS FOR ADDL INFO REGARDING HEIGHTS THIS LEVEL

314 WEST 34th STREET
AUSTIN TX 78705

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HABITABLE ATTIC DATA

FLOOR AREA WITH A CEILING HEIGHT ≥ 7-FT. IN HEIGHT: (SHADED AREA)	243 SF
FLOOR AREA WITH A CEILING HEIGHT BETWEEN 5-FT. & 7-FT. IN HEIGHT: (CROSS HATCHED AREA)	251 SF
CONCLUSION:	251 SF IS > THAN 243 SF THIS HABITABLE ATTIC MEETS THE EXCEPTION OF SUBCHAPTER F

REFER TO BUILDING SECTIONS FOR ADDITIONAL GRAPHIC INFORMATION

BOREN ARCHITECTS
512.554.5474

DRAWING TITLE:
BUILDING-1
FLOOR PLAN-3
HIGH ROOF PLAN

DATE: AS NOTED

PROJECT: 1910: 314

SCALE: AS NOTED

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SHEET: 314

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BUILDING-1
FLOOR PLAN-3
HIGH ROOF PLAN

DATE: AS NOTED

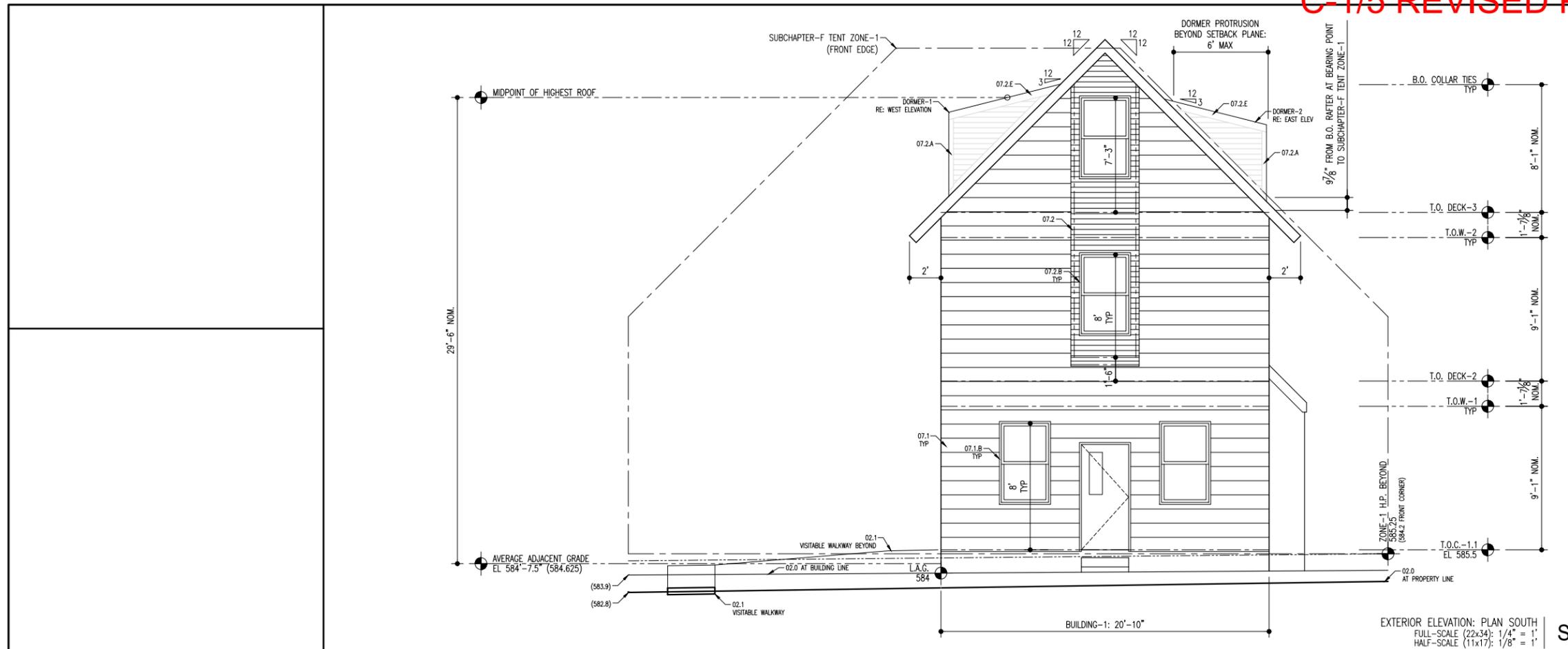
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City of Austin
REVIEWED FOR CODE COMPLIANCE
A1-2



EXTERIOR ELEVATION: PLAN SOUTH
 FULL-SCALE (22x34): 1/4" = 1'
 HALF-SCALE (11x17): 1/8" = 1'

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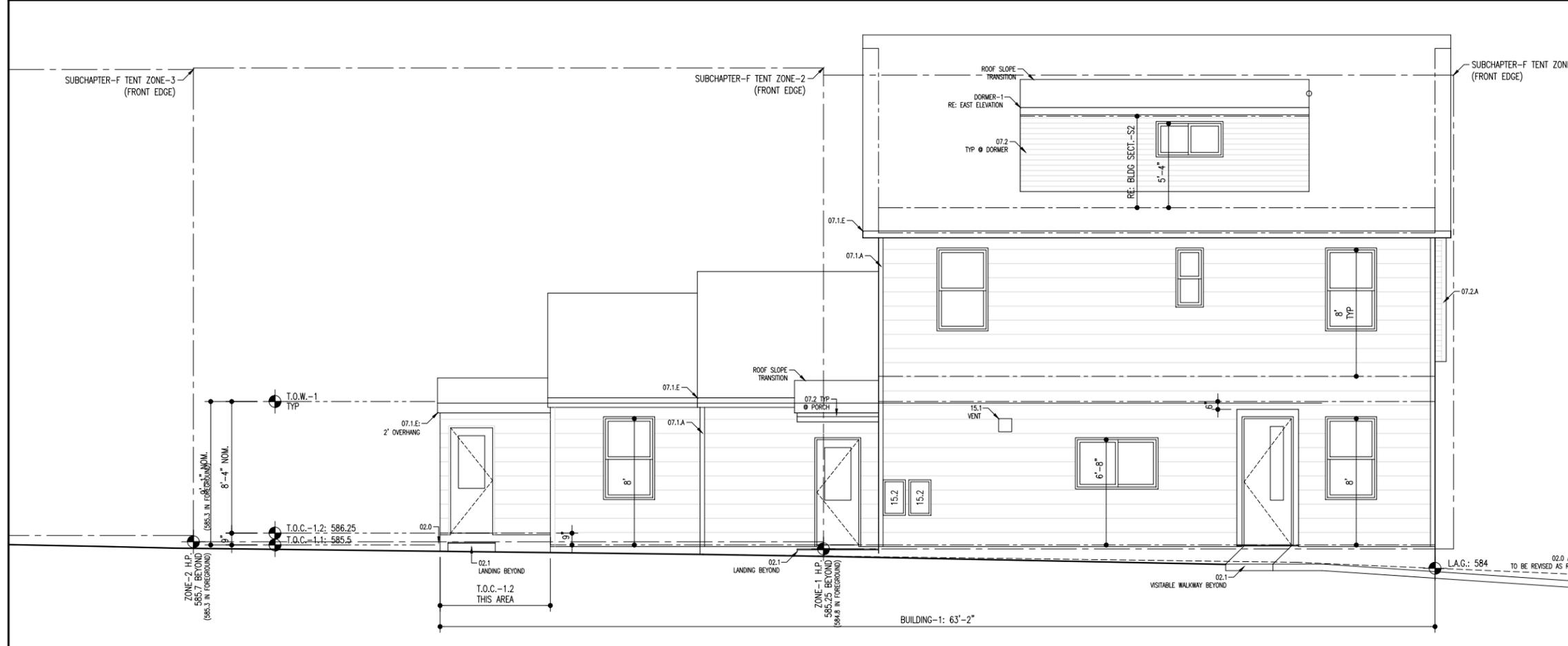
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EXTERIOR ELEVATION: PLAN WEST
 FULL-SCALE (22x34): 1/4" = 1'
 HALF-SCALE (11x17): 1/8" = 1'

- B.O. COLLAR TIES TYP
- T.O. DECK-3
- T.O.W.-2 TYP
- T.O. DECK-2
- T.O.W.-1 TYP
- T.O.C.-1.1 EL 585.5

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SHEET: 314

Reviewed for Code Compliance
 City of Austin
 A1-3

KEYNOTES LEGEND

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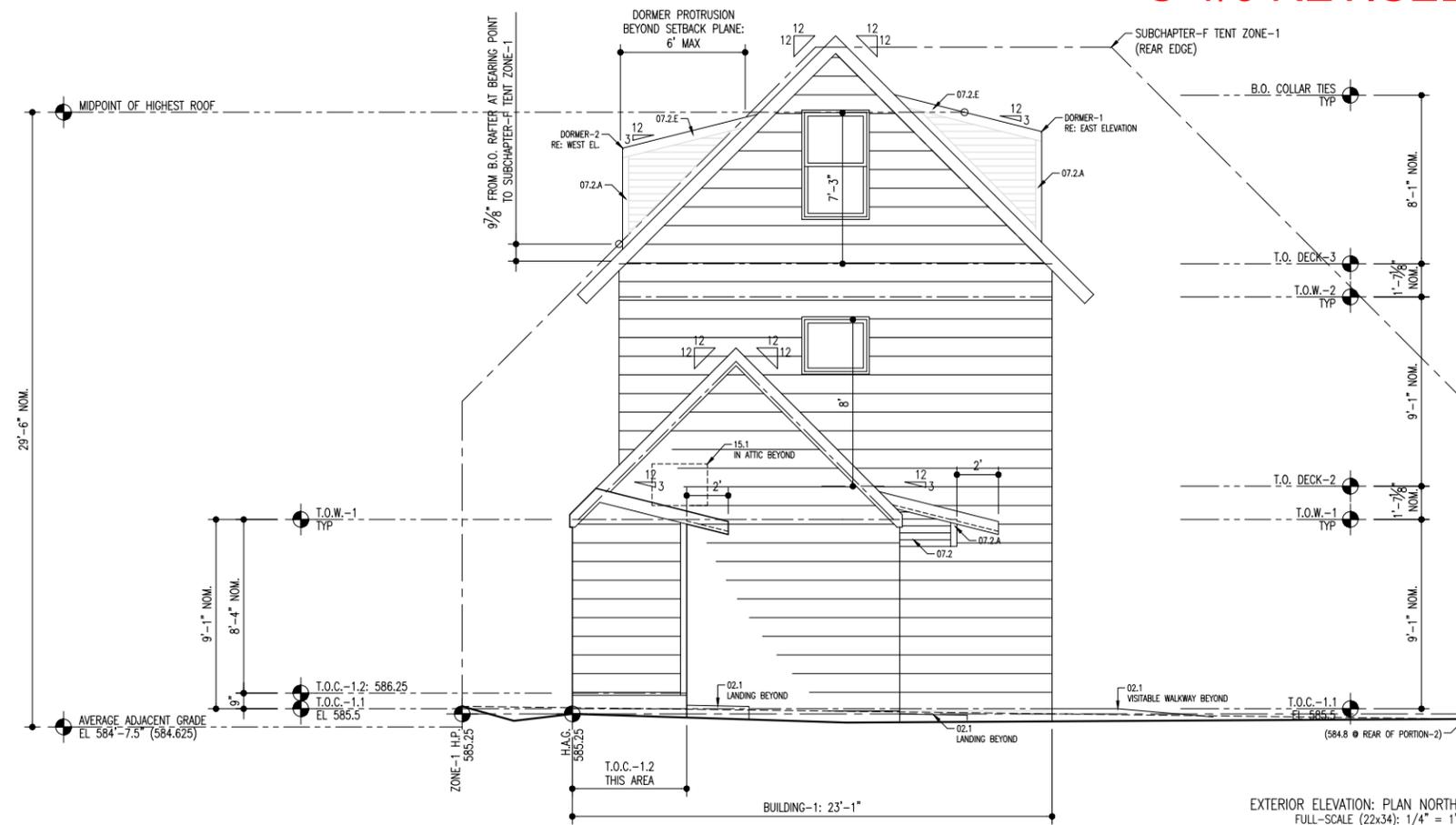
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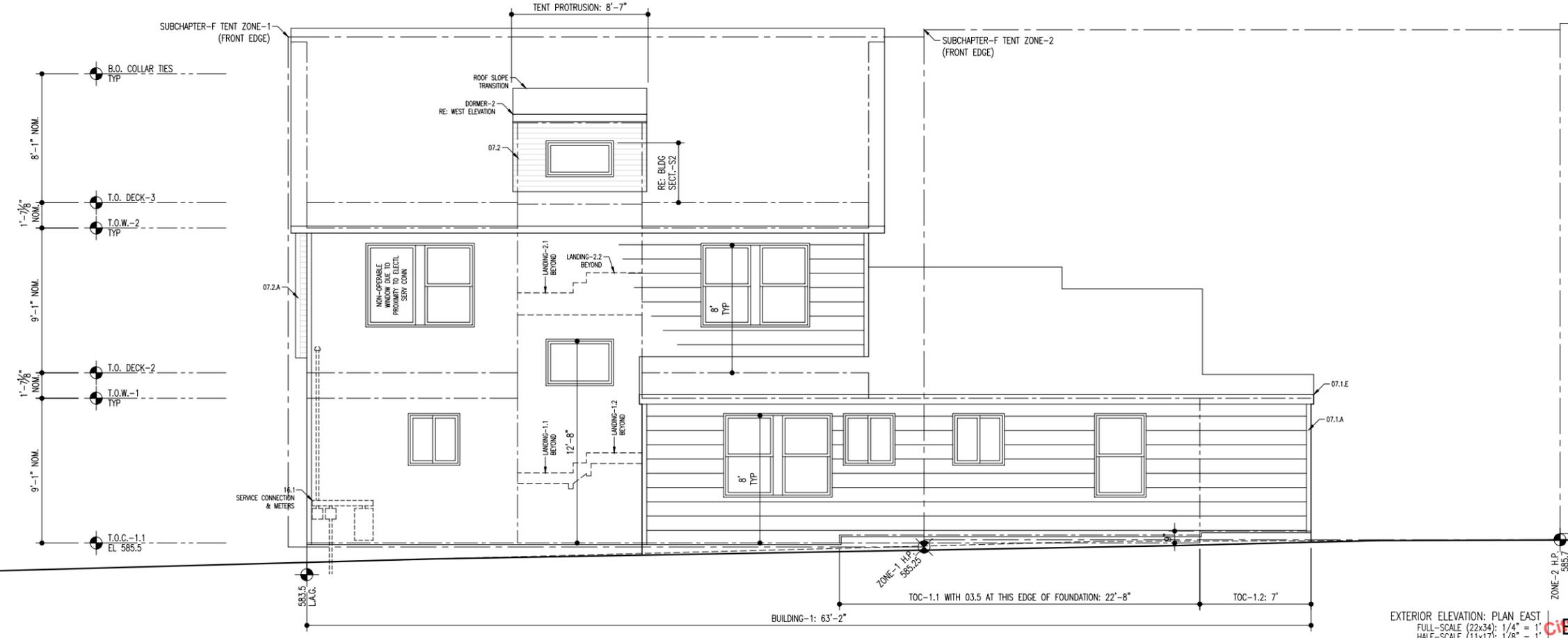
04 NOVEMBER 2020
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EXTERIOR ELEVATION: PLAN NORTH
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'



EXTERIOR ELEVATION: PLAN EAST
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

314 WEST 34th STREET
AUSTIN TX 78705

TWO-FAMILY PROJECT:
PDU: NEW CONSTRUCTION
ADU: ADDITION-REMODEL

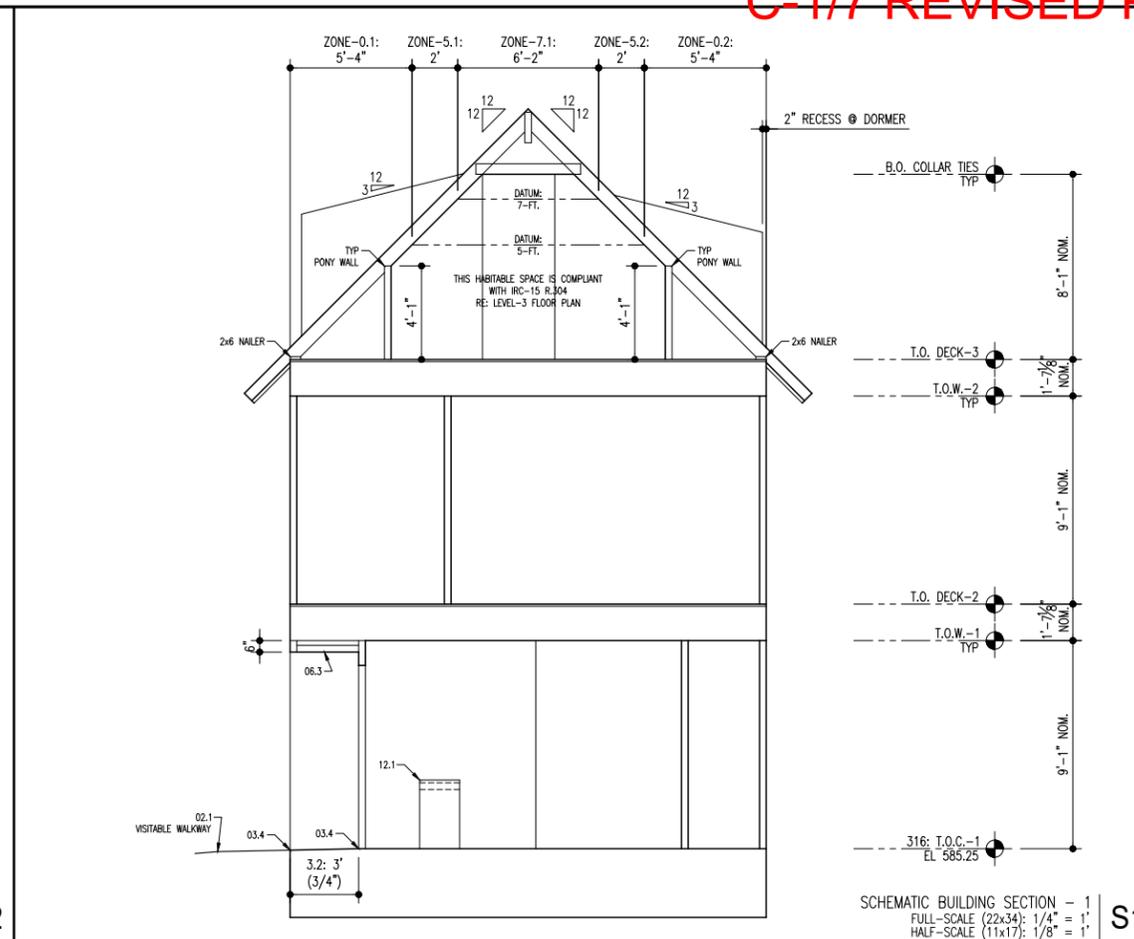
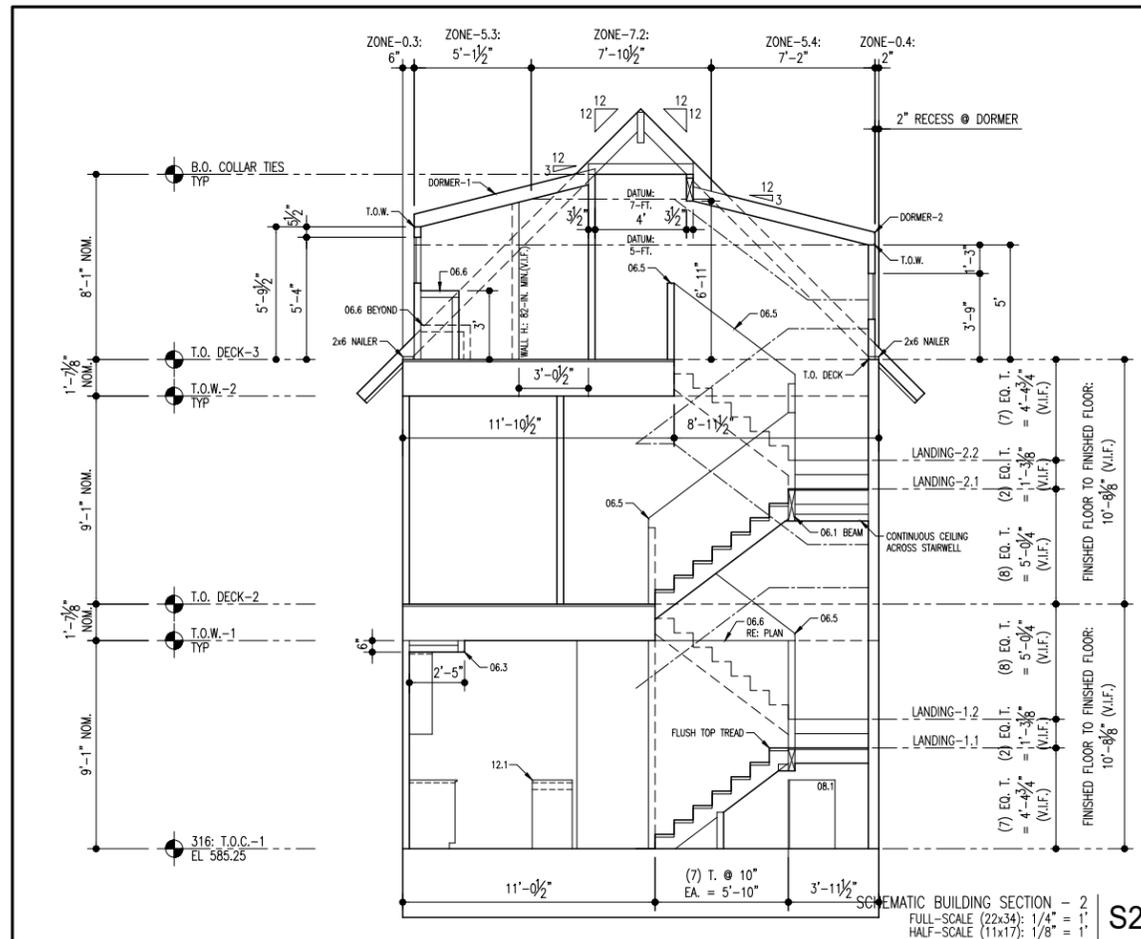
ZONING: SF-3-NCCD-NP



DRAWING TITLE:

DATE: AS NOTED
PROJECT: 1910: 314
SCALE: AS NOTED
DRAWN: DPB
SHEET: 314

City of Austin
REVIEWED FOR CODE COMPLIANCE
A1-4



KEYNOTES LEGEND

KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT: SEE OUTLINE SPECIFICATIONS THIS PACKAGE FOR ADDL INFO

- 01.1 VISIBILITY: INTERIOR ROUTE OF TRAVEL
- 01.2 VISIBILITY: 30 x 30 REQD CLEAR FLOOR AREA
* SEE VISIBILITY NOTES FOR ADDL INFO THIS ROOM
- 02.0 EXISTING GRADE TO REMAIN OR BE MODIFIED WHERE NOTED
- 02.1 NEW PAVEMENT: SLOPE TO DRAIN @ 2% MIN. OR AS NOTED
- 02.2 NEW FINISH GRADING: SLOPE TO DRAIN @ 2% MIN.
- 03.1 CONC FOUNDATION PER STRUCTL
- 03.2 CONC FOUNDATION PER STRUCTL: SLOPE TO DRAIN AS NOTED
- 03.3 CONC FOUNDATION PER STRUCTL: SPECIAL FEATURE AS NOTED
- 03.4 CONC FOUNDATION SLOPE TRANSITION: NO VERTICAL EDGE
- 03.5 CONC FOUNDATION STEMWALL: 4-IN. W. x 6-IN. H.
- 04.0 EXISTING CONCRETE MASONRY UNIT WALL
- 05.1 STEEL LINTEL AT NEW WALL OPENING AT EXISTING CMU WALL
- 06.0 EXISTING WOOD FRAMING ELEMENT
- 06.1 WOOD FLOOR OR ROOF FRAMING PER STRUCTL
- 06.2 EDGE OF FRAMING
- 06.3 LOWER CEILING OR FURR DOWN: DEPTH PER PLAN OR SECTION
- 06.4 2x6 MIN. BLOCKING IN STUD WALL CENTERED AS NOTED
- 06.5 PARTIAL-HIGHT FRAMING: 40-IN. H. NOM. WITH DIVISION-09 CAP TRIM
- 06.6 INTERIOR PLATFORM: AS NOTED WITH DIVISION-09 CAP TRIM
- 06.7 STAINED WOOD HANDRAIL
- 07.0 EXISTING SIDING TO REMAIN: REFURBISH AS REQUIRED
- 07.1 SIDING TYPE-1: PLANKS WITH 10.75-IN. EXPOSURE TYP U.N.O.
- 07.2 SIDING TYPE-2: PLANKS WITH 4-IN. EXPOSURE
- 07.3 ROOF EDGE: 2x8 NOM @ TYPE-1 & 1x6 NOM @ TYPE-2
- 07.4 EXTERIOR TRIM AS SCHEDULED
- 07.5 EXTERIOR CEILING AS SCHEDULED
- 07.6 NEW SIDING TO MATCH EXISTING AT WINDOW OR DOOR INFILL
- 08.0 EXISTING DOOR OR WINDOW PER REMODEL PLAN NOTES
- 08.1 SCHEDULED DOOR
- 08.2 SCHEDULED WINDOW
- 12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION
- 15.1 HVAC EQUIPMENT OR ACCESSORY
- 15.2 PLUMBING EQUIPMENT OR ACCESSORY
- 16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

DATE: 09.11.20

DESCRIPTION: ADDENDA-1: REVISION FOR CONSTRUCTION SET

REVISION:

04 NOVEMBER 2020
PERMIT REVISION

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INTERIOR FINISH SCHEDULE

LEVEL: ROOM	FINISHES
LEVEL-1: LIVING BEDRMS CLOSETS STAIRS HALLS	CEILING: * SPRAY FOAM INSULATION BETWEEN RAFTERS * R-38 EQUIVALENT: ASSUMED THICKNESS 6-IN.; CONFIRM * ROOF SHALL BE THERMAL ENVELOPE CONSTRUCTION
LEVEL-2: BEDRMS CLOSETS STAIRS	FLOORS: PLANK FLOORING - VINYL OR ENGINEERED WOOD (T.B.D.) TYPICAL UNLESS NOTED OTHERWISE * 314: FLOORING SHALL BE CARPET AT LEVEL-2 & LEVEL-3 & STAIRS
LEVEL-3: MEDIA STO. RMS. DEN HALL STAIRS	CEILING: PAINTED GWB - MILDEW RESISTANT PAINT WALLS: PAINTED GWB - MILDEW RESISTANT PAINT FLOORS: CERAMIC TILE PER INTERIORS PACKAGE SHOWERS: PREFAB SHOWER BASE SIZED PER PLAN & WALLS TO MATCH BY SAME MNFR.
BATHROOMS (ALL AS APPLICABLE)	CEILING: PAINTED GWB - MILDEW RESISTANT PAINT WALLS: PAINTED GWB - MILDEW RESISTANT PAINT FLOORS: CERAMIC TILE PER INTERIORS PACKAGE SHOWERS: PREFAB SHOWER BASE SIZED PER PLAN & WALLS TO MATCH BY SAME MNFR.
UTILITY SPACES: LAUNDRY MECH	CEILING: PAINTED GWB - MILDEW RESISTANT PAINT WALLS: PAINTED GWB - MILDEW RESISTANT PAINT FLOORS: SHEET VINYL PER INTERIORS PACKAGE
MISC EXTERIOR: * PORCH-1 * PORCH-2 * REAR COVERED PATIO	CEILING: STAINED WOOD PER OUTLINE SPECS WALLS: * PORCHES: PAINTED EXTERIOR SIDING * RE: OUTLINE SPECIFICATIONS FOR ADDL INFO FLOORS: * BROOM-FINISHED CONC
UTILITY SPACES: L1: STO. ALCOVE	CEILING: PAINTED GWB - MILDEW RESISTANT PAINT WALLS: PAINTED GWB - MILDEW RESISTANT PAINT FLOORS: CONCRETE - UNFINISHED

INSULATION SCHEDULE

ROOF INSULATION AT ALL ROOFS:
* SPRAY FOAM INSULATION BETWEEN RAFTERS
* R-38 EQUIVALENT: ASSUMED THICKNESS 6-IN.; CONFIRM
* ROOF SHALL BE THERMAL ENVELOPE CONSTRUCTION

EXTERIOR WALLS:
* OPTION-1: SPRAY FOAM INSULATION
* OPTION-2: BLOWN-IN CELLULOSE INSULATION
* OPTION-3: FIBERGLASS-BATTS FULL-HEIGHT-TYPICAL
- IN A THICKNESS FULL-DEPTH OF WALL GAFFY
- (R-13 TYP WITH R-19 @ 2x6 WALLS)

FLOORS (TRUSSED AREA ONLY):
* R-13 FIBERGLASS BATTS BETWEEN TRUSSES (SOUND CONTROL)

INTERIOR WALLS FOR ACOUSTIC PRIVACY:
* R-13 FIBERGLASS BATTS SEPARATING BATHROOMS, PLUMBING FIXTURES & LINES, FROM ALL ADJACENT SPACES, & AROUND BEDROOMS

NOTE:
SPRAY FOAM INSULATION REFERS TO ICYNENE OR EQUAL FIELD-APPLIED BY A CERTIFIED INSTALLER

GENERAL NOTES

THE CONTRACTOR & SUBCONTRACTORS SHALL NOTE IN THEIR BID ALL DEVIATIONS FROM THESE DRAWINGS & SCHEDULES

THE CONTRACTOR & SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK

THE CONTRACTOR & SUBCONTRACTORS SHALL VERIFY SIZES AND LOCATIONS OF ALL APPLIANCES, FIXTURES AND RELATED COMPONENTS PRIOR TO INSTALLATION

THESE PLANS ARE ISSUED AS A "BUILDER'S SET". SUBCONTRACTORS SHALL COORDINATE ALL SCOPES OF WORK WITH GENERAL CONTRACTOR PRIOR TO BID

PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKWAYS & PATIOS

ALL WATER LINES TO BE PEX

ALL WASTE PIPING TO BE SCHEDULE 40 PVC

PROVIDE THRESHOLDS @ ALL EXTERIOR DOORS

UTILITY NOTES

THE FOLLOWING APPLIANCES OR EQUIP. SHALL BE PROVIDED NATURAL GAS:
* H.V.A.C. FURNACES
* HOT WATER HEATERS
* CLOTHES DRYERS
* KITCHEN STOVE WITH OVEN

THE FOLLOWING APPLIANCES OR EQUIP. SHALL BE ELECTRIC:
* H.V.A.C. FURNACES
* CLOTHES DRYERS

REFER TO OUTLINE SPECIFICATIONS THIS SHEET & OWNER-SELECTED EQUIPMENT & APPLIANCES FOR ADDL INFO

VERIFY ABOVE INFORMATION WITH OWNER / GENERAL CONTRACTOR PRIOR TO BID

FRAMING - BLOCKING REQUIREMENTS

- ALL SHEATHING EDGES SHALL BE FULLY-BLOCKED
- ALL FRAMING SHALL BE FULLY FIRE-BLOCKED AS REQUIRED TO MEET OR EXCEED CODE REQUIREMENTS
- ALL WALL FRAMING SHALL HAVE 2x4 MIN. DEAD-WOOD FOR GWB INSTALLATION
- ALL PLAN LOCATIONS INDICATING BASE & WALL CABINETS SHALL BE BLOCKED FOR CASEWORK INSTALLATION
- ALL VERTICAL & HORIZONTAL JOINTS BETWEEN TILE & GWB FINISH SHALL BE BLOCKED
- ALL BATHROOMS SHALL BE 2x BLOCKED AS REQUIRED FOR ALL MISCELLANEOUS ACCESSORIES: COORDINATE WITH OWNER
- ALL GROUND FLOOR BATHROOMS SHALL BE 2x BLOCKED AS REQUIRED TO MEET THE CITY OF AUSTIN VISIBILITY ORDINANCE
- ALL CLOSETS SHALL BE BLOCKED AS REQUIRED FOR INSTALLATION OF CLOSET SYSTEM: COORDINATE WITH OWNER
- PROVIDE PRESSURE TREATED SILL PLATES AT ALL LOCATIONS IN CONTACT WITH CONCRETE
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

OUTLINE SPECIFICATIONS

THESE SPECIFICATIONS ARE IN 1995 CSI FORMAT

DIVISION-2: SITE CONSTRUCTION
LANDSCAPING:
* BY OWNER
* FINISHED GRADING SHALL SLOPE AWAY FROM BUILDING @ 2% MINIMUM

DIVISION-3: CONCRETE
* CONCRETE FOUNDATION PER STRUCTURAL
* EXPOSED CONCRETE SIDEWALLS > 8" H. SHALL BE PARGED
* NEW CONCRETE FOUNDATIONS SHALL BE PER STRUCTURAL
* PROVIDE CONTROL & EXPANSION JOINTS AS REQUIRED ON CONC DRIVES, WALKWAYS & PATIOS
* COORDINATE CONCRETE WITH CITY OF AUSTIN VISIBILITY REQUIREMENTS, INCLUDING WIDTH & TEXTURE, SLOPE & CROSS-SLOPE

DIVISION-4: MASONRY
* NOT APPLICABLE

DIVISION-6: WOOD & PLASTICS
FLOOR FRAMING (WHERE APPLICABLE):
* FLOOR TRUSSES PER ENGINEERED SHOP DRAWINGS: 18" MINIMUM DEPTH
* RE: STRUCTL FOR ADDL INFO
SUB FLOORING (WHERE APPLICABLE):
* 1.125" TONGUE & GROOVE (T&G) PLYWOOD, NAIL & GLUE
* RE: STRUCTL FOR ADDL INFO
WALL FRAMING:
* 2x4 NOM. @ 16" MAX. O.C. TYPICAL; 2x6 NOM. WHERE NOTED ON PLAN
WALL SHEATHING:
* OPTION-1: ZIP WALL SHEATHING RATED FOR SPAN - VERIFY W/ STRUCTL
* OPTION-2: PER STRUCTL
ALL EDGES SHALL BE FULLY BLOCKED
* RE: STRUCTL FOR ADDL INFO
ROOF FRAMING:
* PER STRUCTL
ROOF SHEATHING:
* SHEATHING PER STRUCTL RATED FOR SPAN
* PROVIDE CLIPS AT MID-SPAN OF ALL JOINTS
EXTERIOR WOOD FRAMING:
* ALL EXTERIOR WOOD FRAMING MATERIALS SHALL BE TREATED
* ALL CONNECTORS SHALL BE RATED FOR APPLICATION
MISC WOOD FRAMING:
* FRAMER TO INSTALL BLOCKING AS REQUIRED FOR ALL INTERIOR APPURTENANCES & ACCESSORIES NOTED OR SHOWN ON PLAN

DIVISION-7: THERMAL & MOISTURE PROTECTION
MOISTURE PROTECTION:
* N/A IF ZIP WALL SHEATHING SYSTEM IS SELECTED: SEE ABOVE
* TYVEK OR EQUAL HOUSEWRAP IF OSB OR PLYWOOD SHEATHING
EXTERIOR SIDING & TRIM:
* EXTERIOR CEMENT FIBER BOARD "PLANK" SYSTEM
BY JAMES HARDIE COMPANY OR EQUAL:
TYPE-1: 10.75-IN. EXPOSURE, SMOOTH
TYPE-2: 4-IN. EXPOSURE, SMOOTH
* A CORNER TRIM: 1x HARDIE-TRIM, ONE SIDE ONLY AS SHOWN TYP
* B OPENING TRIM: 2x2 "REAL TRIM" ALL FOUR SIDES AS SHOWN
* C OPENING TRIM - WINDOW INFILL: HARDIE-PANEL OVER FURR-STRIPS

DIVISION-8: DOORS & WINDOWS
SCHEDULED EXTERIOR DOORS:
* RECOMMENDED: THERMATRU FIBERGLASS OR EQUAL
DOOR HARDWARE:
* AS RECOMMENDED BY MNFR WITH OWNER REVIEW
INTERIOR DOORS:
* RECOMMENDED: SOLID CORE WOOD VENEER - FLUSH
SCHEDULED WINDOWS:
* STYLE & MATERIAL BY OWNER
* ALL WINDOWS SHALL HAVE INSULATED, LOW-E, DOUBLE-PANE GLAZING
* SUPPLIER SHALL VERIFY CODE REQUIREMENTS & OPERATIONS PRIOR TO ORDER
* SUPPLIER SHALL REVIEW PLANS WITH ELEVATIONS & NOTIFY ARCHITECT OF POSSIBLE DISCREPANCIES PRIOR TO ORDER

DIVISION-9: FINISHES
GYPSUM WALLBOARD (GWB):
* GWB, 0.5-IN. AT WALLS & 0.625-IN. AT CEILINGS
* TAPE & FLOAT; TEXTURE & PAINT
* COORDINATE TEXTURE WITH OWNER
* CORNERS SHALL BE SQUARE
* USE MOISTURE-RESISTANT GWB AT ALL "WET" AREAS
* USE ONLY CEMENTITIOUS BACKING BEHIND ALL TILE
316 REAR COVERED PATIO & 314 LAUNDRY ROOM ONLY:
* USE EXTERIOR-RATED GWB AT CEILING, WITH JOINT COMPOUND & TEXTURE FOR INTERIOR SPACES
INTERIOR TRIM RECOMMENDATIONS FOR OWNER VERIFICATION:
* BASE BOARDS: PAINTED MDF 1x6 WITH EASED TOP EDGE TYP
* DOOR TRIM: PAINTED MDF 1x4 WITH EASED EDGES
* WINDOW SILL: PAINTED MDF 1x WITH EASED EDGES; DOUBLE-THICK AT PROJECTING SILL
* WINDOW TRIM: PAINTED GWB RETURNS @ JAMBS & HEAD
* 06.5 CAP: SAME AS WINDOW SILL
* 06.6 CAP: SAME AS WINDOW SILL BUT HOWD TO RESIST CUPPING; INSTALL OVER 0.75-IN. THICK PLYWOOD

DIVISION-10: SPECIALTIES
TOILET & BATH ACCESSORIES:
* TBD WITH INTERIOR DESIGNER (PER SEPARATE AGREEMENT)
* TOWEL BARS: 24-IN. W. AT HEIGHTS NOTED
CLOSET SYSTEMS:
* TBD WITH INTERIOR DESIGNER (PER SEPARATE AGREEMENT)

DIVISION-11: EQUIPMENT
APPLIANCES:
* AS NOTED ON PLANS WITH SELECTIONS PER OWNER

DIVISION-12: FURNISHINGS
CASEWORK & COUNTERTOPS:
* TBD WITH INTERIOR DESIGNER (PER SEPARATE AGREEMENT)

DIVISION-13: SPECIAL CONSTRUCTION
NOT APPLICABLE

DIVISION-15: MECHANICAL
HVAC WORK SHALL BE DESIGN-BUILD BY LICENSED SUBCONTRACTOR
BUILDING-1:
* LEVEL-1: AHU-1 WITH GAS FURNACE IN ATTIC BELOW LOW ROOF
* LEVEL-2: AHU-2 UPFLOW TYPE AT LEVEL-2
* LEVEL-3: SAME AS LEVEL-2
* REFER TO UTILITY NOTES THIS SHEET FOR ADDITIONAL INFORMATION
BUILDING-2:
* EXISTING / MODIFIED IN CONJUNCTION WITH LICENSED SUBCONTRACTOR
PLUMBING WORK SHALL BE DESIGN-BUILD BY LICENSED SUBCONTRACTOR
* PLUMBING FIXTURES AS INDICATED ON PLAN & SELECTED BY OWNER
* WASTEWATER LINES: ASSUMED SCHEDULE 40 PVC
* WATER LINES - INTERIOR: ASSUMED PEX
BUILDING-1:
* TWO GAS-FIRED TANKLESS-TYPE WATER HEATERS CONCEALED IN WALLS WITH EXTERIOR WALL ACCESS: SEE LEVEL-1 PLAN FOR LOCATION
BUILDING-2:
* EXISTING / MODIFIED IN CONJUNCTION WITH LICENSED SUBCONTRACTOR

DIVISION-16: ELECTRICAL
ELECTRICAL WORK SHALL BE DESIGN-BUILD BY LICENSED SUBCONTRACTOR
* FIXTURES: PER ELECTRICAL DRAWINGS & OWNER
* SWITCHES: ROCKER TYPE PER ELECTRICAL DRAWINGS & OWNER
* TELECOMMUNICATIONS AND ENTERTAINMENT SYSTEMS: BY OTHERS
* ELECTRICAL SUBCONTRACTOR SHALL VERIFY ELECTL PLAN IS COMPLIANT WITH ALL PERTINENT CODES: NOTIFY G.C. OF ANY DISCREPANCIES
PHOTOVOLTAIC COLLECTORS (SOLAR PANELS):
* 314: NOT APPLICABLE
* 316: IN COORDINATION WITH SPECIALTY SUBCONTRACTOR

314 WEST 34th STREET
AUSTIN TX 78705

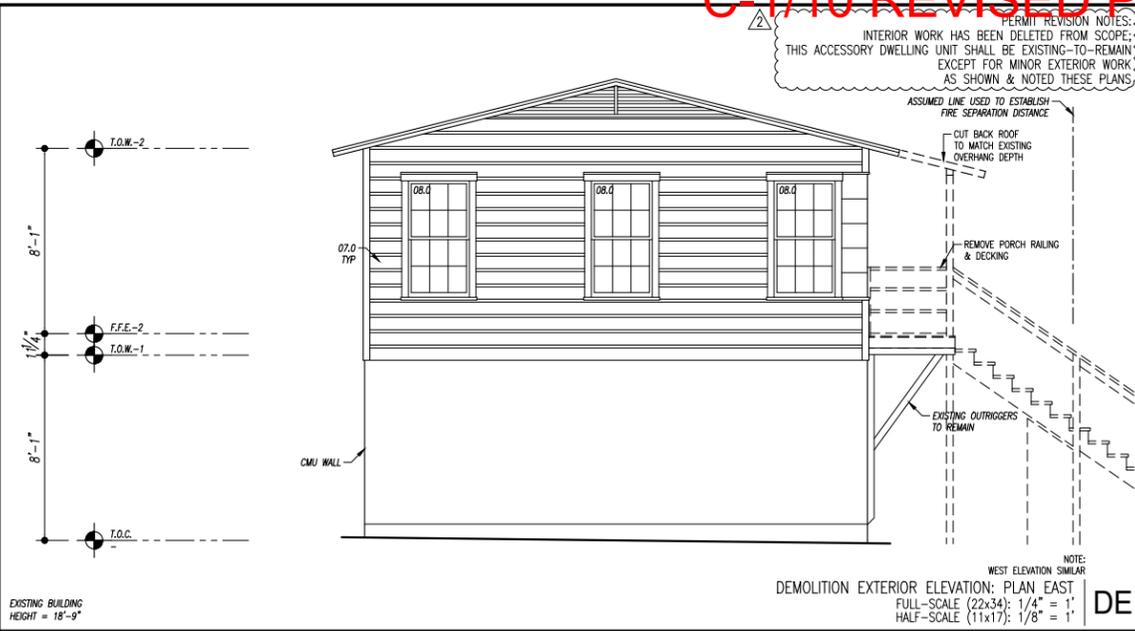
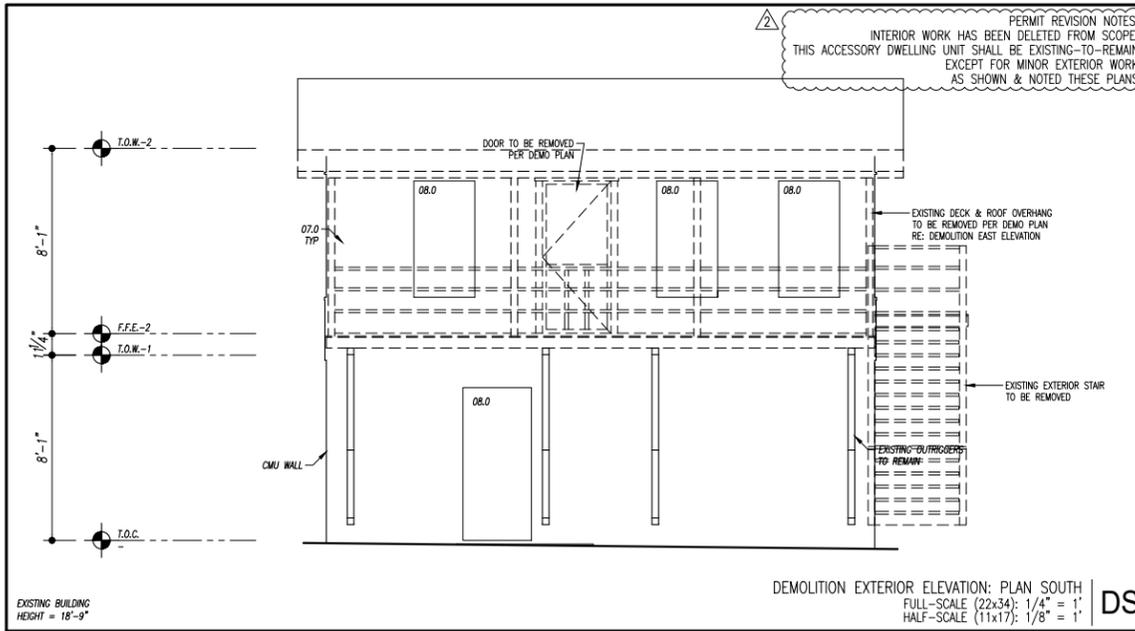
TWO-FAMILY PROJECT:
PDU: NEW CONSTRUCTION
ADU: ADDITION-REMODEL
ZONING: SF-3-NCCD-NP

BOREN ARCHITECTS
512.554.5474

DRAWING TITLE:

DATE: AS NOTED
PROJECT: 1910: 314
SCALE: AS NOTED
DRAWN: DPB
SHEET: 314

City of Austin
REVIEWED FOR CODE COMPLIANCE
A1-5



- KEYNOTES LEGEND**
- KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT: SEE OUTLINE SPECIFICATIONS THIS PACKAGE FOR ADDL INFO
- 01.1 VISIBILITY: INTERIOR ROUTE OF TRAVEL
 - 01.2 VISIBILITY: 30 x 30 REQD CLEAR FLOOR AREA
* SEE VISIBILITY NOTES FOR ADDL INFO THIS ROOM
 - 02.0 EXISTING GRADE TO REMAIN OR BE MODIFIED WHERE NOTED
 - 02.1 NEW PAVEMENT: SLOPE TO DRAIN @ 2% MIN. OR AS NOTED
 - 02.2 NEW FINISH GRADING: SLOPE TO DRAIN @ 2% MIN.
 - 03.1 CONC FOUNDATION PER STRUCTL
 - 03.2 CONC FOUNDATION PER STRUCTL: SLOPE TO DRAIN AS NOTED
 - 03.3 CONC FOUNDATION PER STRUCTL: SPECIAL FEATURE AS NOTED
 - 03.4 CONC FOUNDATION SLOPE TRANSITION: NO VERTICAL EDGE
 - 03.5 CONC FOUNDATION STEMWALL: 4-IN. W. x 6-IN. H.
 - 04.0 EXISTING CONCRETE MASONRY UNIT WALL
 - 05.1 STEEL LINTEL AT NEW WALL OPENING AT EXISTING CMU WALL
 - 06.0 EXISTING WOOD FRAMING ELEMENT
 - 06.1 WOOD FLOOR OR ROOF FRAMING PER STRUCTL
 - 06.2 EDGE OF FRAMING
 - 06.3 LOWER CEILING OR FURR DOWN: DEPTH PER PLAN OR SECTION
 - 06.4 2x6 MIN. BLOCKING IN STUD WALL CENTERED AS NOTED
 - 06.5 PARTIAL-HIGHT FRAMING: 40-IN. H. NOM. WITH DIVISION-09 CAP TRIM
 - 06.6 INTERIOR PLATFORM: AS NOTED WITH DIVISION-09 CAP TRIM
 - 06.7 STAINED WOOD HANDRAIL
 - 07.0 EXISTING SIDING TO REMAIN: REFURBISH AS REQUIRED
 - 07.1 SIDING TYPE-1: PLANKS WITH 10.75-IN. EXPOSURE TYP U.N.O.
 - 07.2 SIDING TYPE-2: PLANKS WITH 4-IN. EXPOSURE
 - 07.3 ROOF EDGE: 2x8 NOM @ TYPE-1 & 1x6 NOM @ TYPE-2
 - 07.4 EXTERIOR TRIM AS SCHEDULED
 - 07.5 EXTERIOR CEILING AS SCHEDULED
 - 07.6 NEW SIDING TO MATCH EXISTING AT WINDOW OR DOOR INFILL
 - 08.0 EXISTING DOOR OR WINDOW PER REMODEL PLAN NOTES
 - 08.1 SCHEDULED DOOR
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 - 12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION
 - 15.1 HVAC EQUIPMENT OR ACCESSORY
 - 15.2 PLUMBING EQUIPMENT OR ACCESSORY
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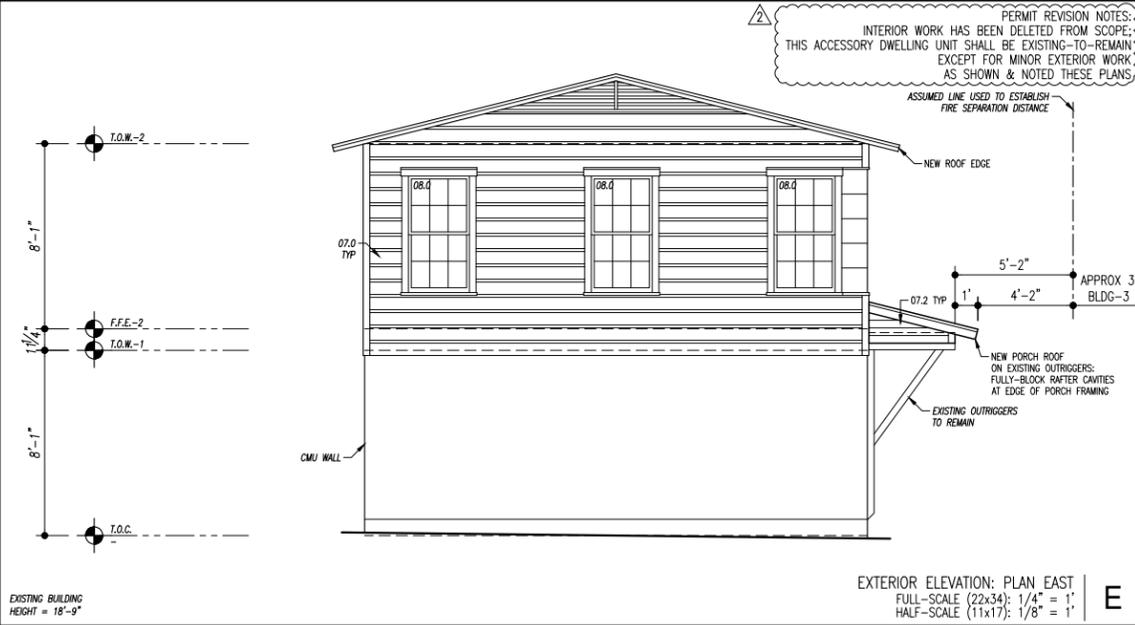
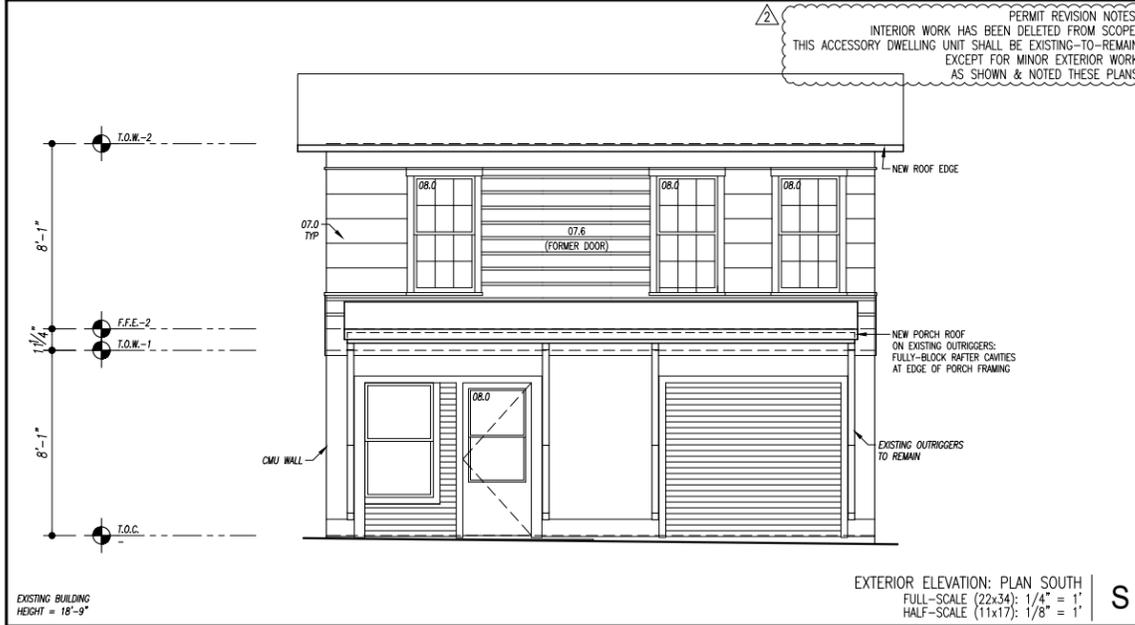
DATE: 09.11.20
11.04.20

REVISION DESCRIPTION
ADDENDA-1: REVISION FOR CONSTRUCTION SET
ADDENDA-2: PERMIT REVISION

04 NOVEMBER 2020
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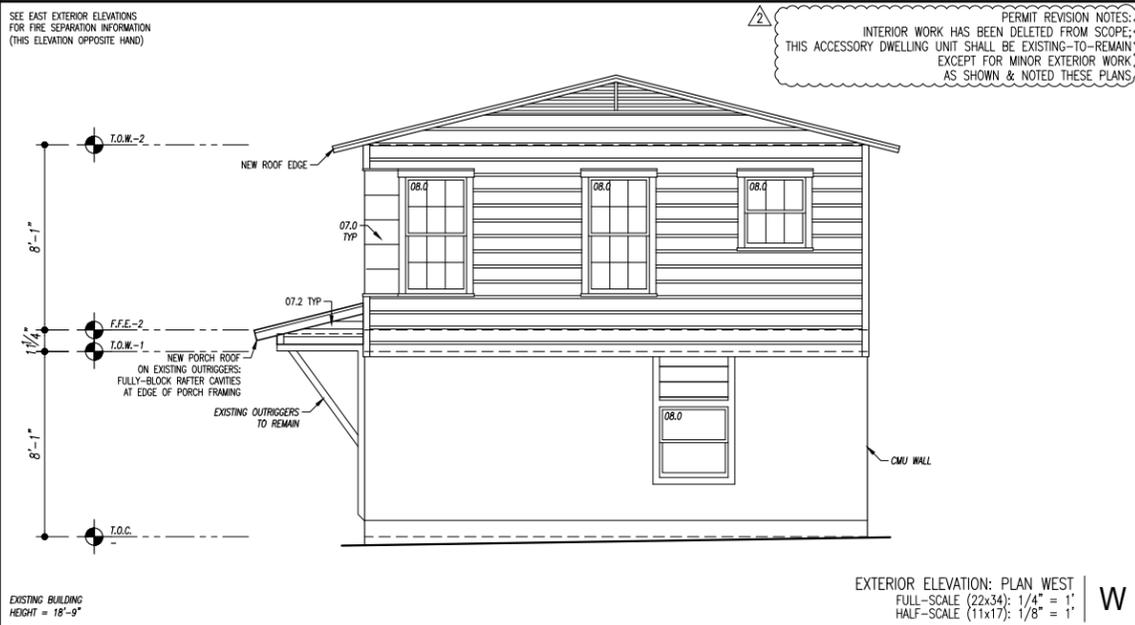
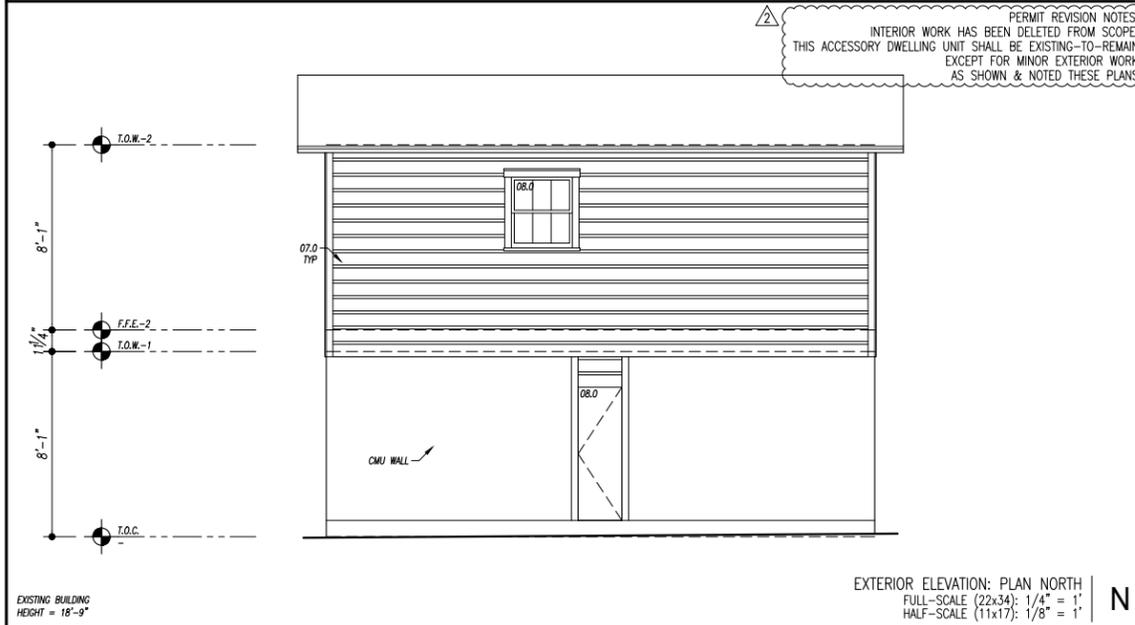


- FLOOR PLAN NOTES: REMODEL**
1. ITALICIZED TEXT DENOTES AN EXISTING ELEMENT: CONFIRM EXISTING SIZES
 2. NEW WALLS HATCHED FOR CLARITY: ALL OTHERS EXISTING U.N.O.
 3. ALL DIMENSIONS FROM EDGE OF EXISTING FINISHED EDGE OR EDGE OF NEW WALL OR FLOOR FRAMING OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP
 4. WINDOWS ARE SIZED ON PLANS IN WIDTH x HEIGHT FORMAT:
* BASE BID: REPLACE ALL EXISTING WINDOWS IN-KIND THIS CONTRACT
* ALT. BID: REFURBISH ALL EXISTING WINDOWS
 5. DOORS SHALL BE SHALL BE 6'-FT. 8-IN. HIGH U.N.O. ON PLAN:
* BASE BID: REPLACE ALL EXISTING DOORS IN-KIND THIS CONTRACT
* ALT. BID: REFURBISH ALL EXISTING DOORS
 6. COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS WITH MNFR REQ
 7. REFER TO OUTLINE SPECIFICATIONS INCLUDED WITH BLDG-1 & BLDG-3 DWGS FOR ADDITIONAL INFORMATION
 8. INTERIOR FLOOR FINISHES TO BE DETERMINED DURING CONSTRUCTION: INCLUDE BID ALLOWANCE
 9. SMOKE & CARBON MONOXIDE ALARMS TO BE INSTALLED IN FULL COMPLIANCE WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE R314

314 WEST 34th STREET
AUSTIN TX 78705

TWO-FAMILY PROJECT:
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ZONING: SF-3-NCCD-NP



- MEP NOTES: REMODEL**
1. IT IS ASSUMED THAT ALL ELECTRICAL & PLUMBING ACCESSORIES & APPURTENANCES WILL BE REPLACED THIS CONTRACT
 2. EXISTING HVAC SYSTEMS TO BE RE-UTILIZED: SUBCONTRACTOR TO CONFIRM UPGRADES TO EXISTING SYSTEMS TO MEET NEW PLAN REQUIREMENTS

BOREN ARCHITECTS
512.554.5474

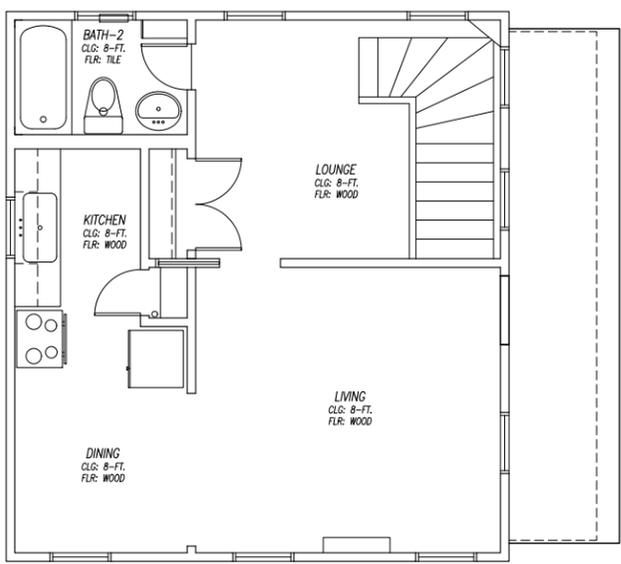
DRAWING TITLE:
BUILDING-2 (ADU)
(EXISTING / REMODEL)
EXTERIOR ELEVATIONS

DATE: AS NOTED
PROJECT: 1910: 314
SCALE: AS NOTED
DRAWN: DPB
SHEET: 314

PERMIT REVISION NOTES - ELECTRICAL ONLY:
ELECTRICAL WORK HAS BEEN DELETED FROM SCOPE-OF-WORK EXCEPT WORK FIELD-DETERMINED BY A LICENSED ELECTRICIAN AND/OR CITY OF AUSTIN INSPECTOR TO BE REQUIRED

- ELECTRICAL PLAN NOTES**
- POWER & LIGHTING TO BE DESIGN-BUILD BY OTHERS: THIS PLAN FOR GRAPHIC PURPOSES ONLY
 - COORDINATE POWER REQUIREMENTS FOR ALL EQUIPMENT & APPLIANCES WHICH MAY OR MAY NOT BE SHOWN ON THESE PLANS
 - FIXTURES & OUTLETS REQUIRED BY CODE TO BE G.F.I. SHALL BE BID & INSTALLED AS G.F.I.
 - CONFIRM ALL FIXTURES WITH G.C. PRIOR TO BID
 - ENSURE THAT ALL FIXTURES ARE RATED FOR APPLICATION
 - ALL OUTLETS AT KITCHEN COUNTERS SHALL BE G.F.I.
 - ALL OUTLETS IN LAUNDRY ROOM SHALL BE G.F.I.
 - EXTERIOR OUTLETS SHALL BE WEATHERPROOF & G.F.I.
 - ALL BATHROOM & GARAGE OUTLETS SHALL BE G.F.I.
 - ALL CEILINGS FULL-HEIGHT TO STRUCTURE U.N.O.
 - RECESSED FIXTURES SHALL BE I.C. RATED
 - CONFIRM PLACEMENT OF CEILING FIXTURES WITH G.C. AND FRAMING ELEMENTS
 - PROVIDE POWER TO MIRROR CABINETS ABOVE ALL BATHROOM SINKS: CONFIRM
 - BIDDER SHALL NOTE ANY CODE VIOLATIONS OR DISCREPANCIES OR OMISSIONS WITHIN THIS PLAN WITH G.C. PRIOR TO BID OR BID MOST EXPENSIVE OPTION
 - TELECOMMUNICATIONS & DATA OUTLETS SHOWN FOR GRAPHIC PURPOSES ONLY: COORDINATE REQUIREMENTS WITH APPROPRIATE SUBCONSULTANT

DATE:	09.11.20
11.04.20	
DESCRIPTION	ADDENDA-1: REVISION FOR CONSTRUCTION SET ADDENDA-2: PERMIT REVISION
REVISION	⚠



ELECTRICAL PLAN: LEVEL-2
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

ELECTRICAL PLAN SYMBOLS LEGEND

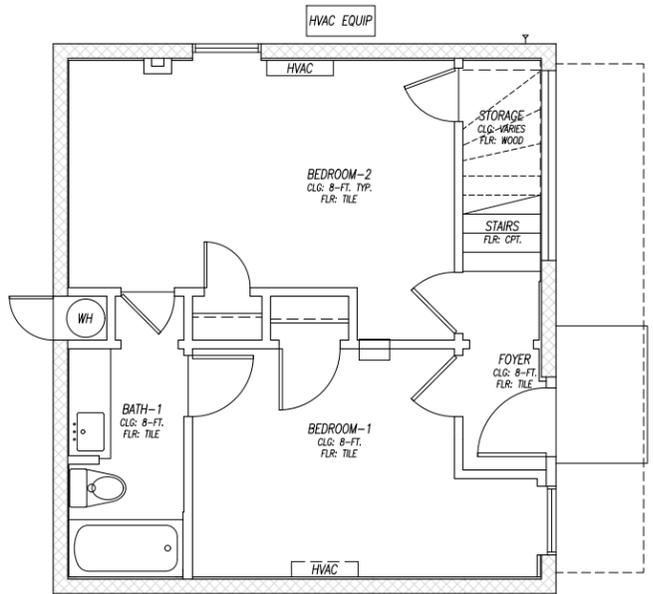
\$	SWITCH	D	DATA CABLE OUTLET
\$3	SWITCH - 3 WAY	DB	DOOR BELL CHIME
\$DS	SWITCH - DIMMER	○	RECESSED CAN
\$R	SWITCH - RHEASTAT	□	WALL SCONCE
⊕	OUTLET: 110V DUPLEX	○	PENDANT
⊕⊕	OUTLET: 110V DUPLEX G.F.I.	□	WALL SCONCE: DIRECTIONAL
⊕	OUTLET: 220V	○	UNDERCABINET LIGHTING OR 3" RECESSED CANLIGHT
⊕	OUTLET: QUADRUPLX	□	FLUOR. LIGHT FIXTURE, 4' L. U.N.O.: SURFACE MOUNTED
△	TELEPHONE OUTLET	□	FLUOR. LIGHT FIXTURE, 2' L. U.N.O.: SURFACE MOUNTED
TV	TELEVISION OUTLET FEATURING HDMI & CAT-5 CABLE CONNECTIONS	○	RECESSED CAN WITH DIRECTIONAL LENS
⊕A	AUTO-OPEN PUSH-BUTTON	△	FLOOD LIGHTS WITH MOTION DETECTOR & PHOTOCELL
⊕AS	AIR SWITCH FOR G.D.	---	LED ROPE LIGHT IN COVE
⊕DB	DOOR BELL BUTTON		
⊕HD	HEAT DETECTOR		
⊕L	DOOR FRAME LIGHT SWITCH		
⊕SD	SMOKE DETECTOR		
⊕	CEILING FAN		
⊕	CEILING FAN WITH LIGHT		
□	SURFACE-MOUNTED		
□	SURFACE-MOUNTED EXHAUST FAN WITH LIGHT		
□	EXHAUST FAN		
□	SERVICE CONNECTION		
□	PANEL BOX W/ CLEAR FLOOR AREA		

REGISTERED ARCHITECT
BOREN ARCHITECTS
AUSTIN, TEXAS
04 NOVEMBER 2020
PERMIT REVISION

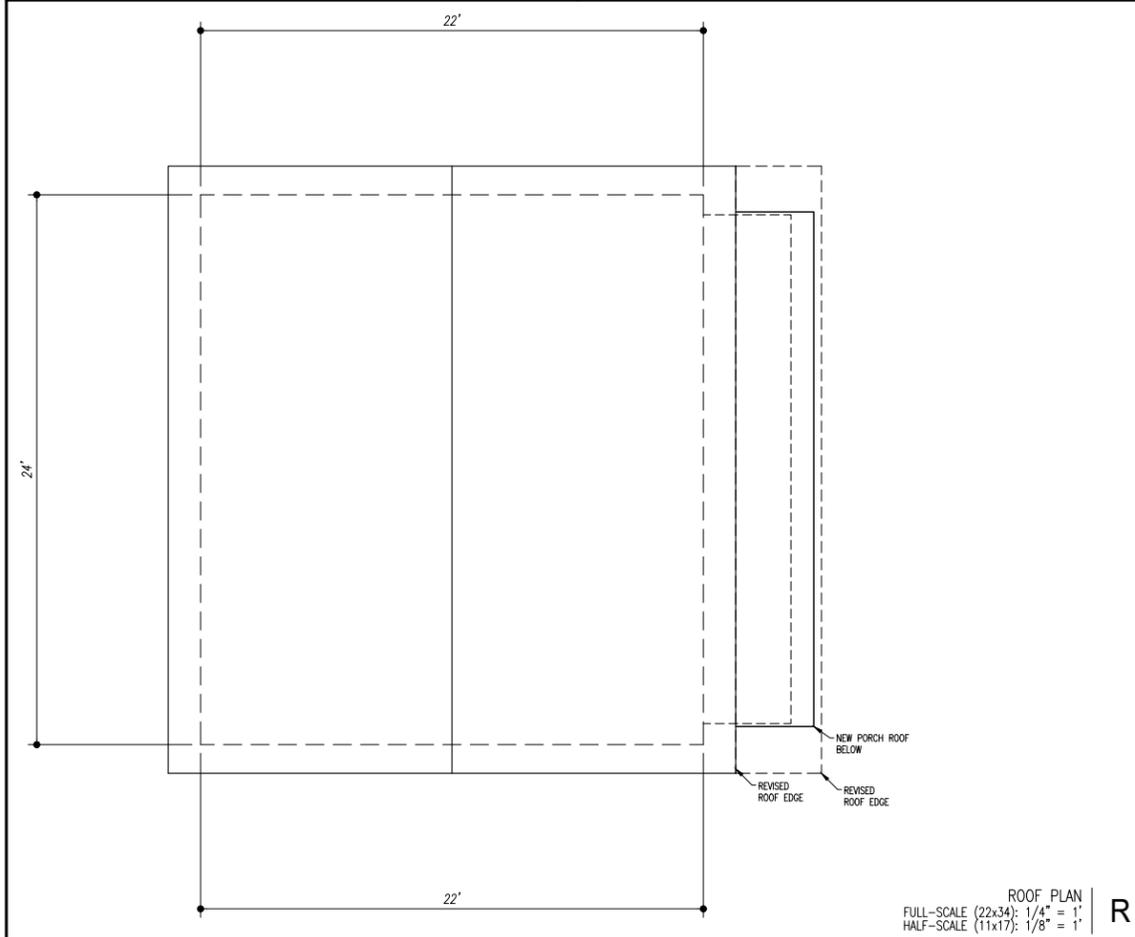
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PERMIT REVISION NOTES - ELECTRICAL ONLY:
ELECTRICAL WORK HAS BEEN DELETED FROM SCOPE-OF-WORK EXCEPT WORK FIELD-DETERMINED BY A LICENSED ELECTRICIAN AND/OR CITY OF AUSTIN INSPECTOR TO BE REQUIRED



ELECTRICAL PLAN: LEVEL-1
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'



ROOF PLAN
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

REGISTERED ARCHITECT
BOREN ARCHITECTS
AUSTIN, TEXAS
04 NOVEMBER 2020
PERMIT REVISION

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DRAWING TITLE:	BUILDING-2 (ADU) (EXISTING / REMODEL) ELECTRICAL & ROOF PLANS
DATE:	AS NOTED
PROJECT:	1910: 314
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	314

REMODEL NOTES

ELECTRICIAN SHALL FIELD-VERIFY EXISTING CONDITIONS PRIOR TO BID TO ESTABLISH SCOPE-OF-WORK

SOME RECESSED CANS MAY REQUIRE LOW-PROFILE KITS DUE TO EXISTING FRAMING CONDITIONS: V.I.F.

COORDINATE WITH HVAC & PLUMBING SUBCONTRACTORS FOR ADDL WORK NOT NECESSARILY SHOWN THIS PLAN

City of Austin
REVIEWED FOR CODE COMPLIANCE
A2-3